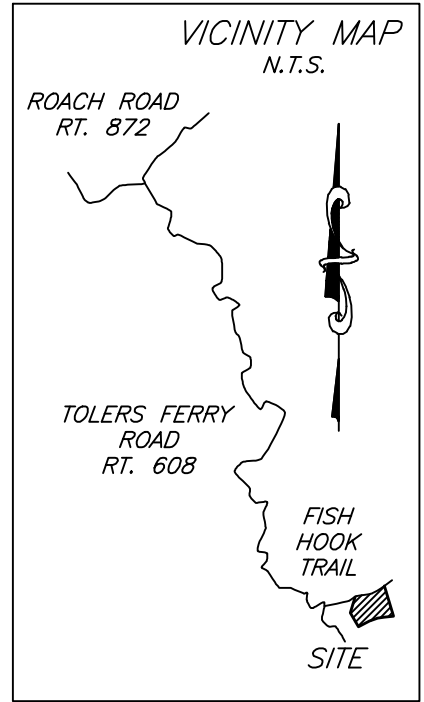


CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	14°24'00"	570.00'	143.26'	142.88'	S 80°14'00" W
C2	10°16'44"	480.00'	86.11'	86.00'	S 67°53'37" W
C3	02°11'14"	480.00'	18.32'	18.32'	S 61°39'38" W
C4	27°43'56"	275.00'	133.11'	131.81'	S 74°26'00" W
C5	04°46'15"	925.00'	77.02'	77.00'	S 85°54'52" W
C6	04°11'45"	925.00'	67.74'	67.72'	S 81°25'53" W
C7	51°08'58"	225.00'	200.86'	194.26'	N 75°05'30" W
C8	08°08'52"	490.00'	69.68'	69.62'	N 45°26'04" W
C9	08°55'02"	645.00'	100.38'	100.28'	N 45°26'09" W
C10	16°21'13"	335.00'	95.62'	95.29'	N 58°11'27" W

LINE	BEARING	DISTANCE
L1	N 12°10'59" E	21.91'
L2	N 13°35'23" W	21.19'
L3	S 60°33'27" W	69.28'
L4	S 45°58'50" W	67.79'
L5	S 73°45'14" W	92.09'
L6	S 82°55'42" W	173.70'
L7	S 80°27'50" W	89.63'
L8	S 80°27'50" W	70.44'
L9	S 76°11'36" W	130.54'
L10	N 84°54'25" W	89.00'
L11	N 32°18'27" W	44.48'
L12	N 32°18'27" W	58.39'
L13	S 51°42'01" W	108.67'
L14	S 31°58'07" W	111.64'
L15	S 54°42'28" W	84.80'
L16	S 65°54'28" W	46.31'
L17	S 65°54'28" W	30.94'
L18	S 62°21'07" W	217.98'
L19	N 29°42'17" W	123.45'
L20	S 35°02'02" W	76.22'
L21	S 10°35'03" W	92.84'
L22	S 30°54'54" W	156.92'
L23	S 41°43'56" W	102.08'
L24	S 41°43'56" W	8.69'
L25	S 26°48'39" W	39.29'
L26	S 39°12'50" W	60.41'
L27	S 60°04'17" W	88.84'
L28	N 61°52'52" W	76.12'
L29	N 07°05'33" W	25.96'
L30	N 73°02'00" E	187.47'
L31	N 60°34'00" E	64.92'
L32	N 88°18'00" E	129.75'
L33	N 79°20'00" E	81.86'
L34	S 49°31'02" E	93.35'
L35	S 49°31'00" E	415.00'
L36	S 49°31'00" E	83.10'
L37	S 49°31'00" E	72.94'
L38	S 41°22'00" E	84.95'
L39	S 49°53'00" E	4.69'
L40	S 49°53'00" E	85.61'
L41	S 49°53'00" E	36.25'
L42	S 66°15'00" E	167.75'
L43	S 23°45'00" W	25.00'



CURRENT OWNERS ADDRESS:  
4200 EVERGREEN LANE  
SUITE 323  
ANNADALE, VA 22003

LAKES DISTRICT  
BEDFORD COUNTY  
VIRGINIA

PLAT SHOWING LOT LINE ADJUSTMENT SURVEY OF  
PROPERTY BEING OWNED BY:  
TOLERS BRIDGE INVESTMENTS  
SOURCE: P.B. 20 PG. 198  
LOTS 10-15  
SPORTSMAN'S POINT SUBDIVISION

THE OFFICE OF  
**SLUSHER SURVEYING Inc.**  
LAND SURVEYING AND PLANNING  
P.O. BOX 646  
BEDFORD VIRGINIA 24523  
PH. 540-586-9157  
slushersurvey@verizon.net

COMM. NO. 18059
DATE: 06-26-18
REVISED:
SCALE: 1" = 200'
TAX MAP: 265-1-10 THRU 15
ZONING: AP
PRECISION: 1:20,000+
DRAWN BY: R.J.B.
CHEK'D BY: R.F.P.



**For Recording Information Only**

"The subdivision known as (see plat title block) is approved by the undersigned in accordance with existing subdivision regulations and may be admitted to record"

Date \_\_\_\_\_ Highway Engineer

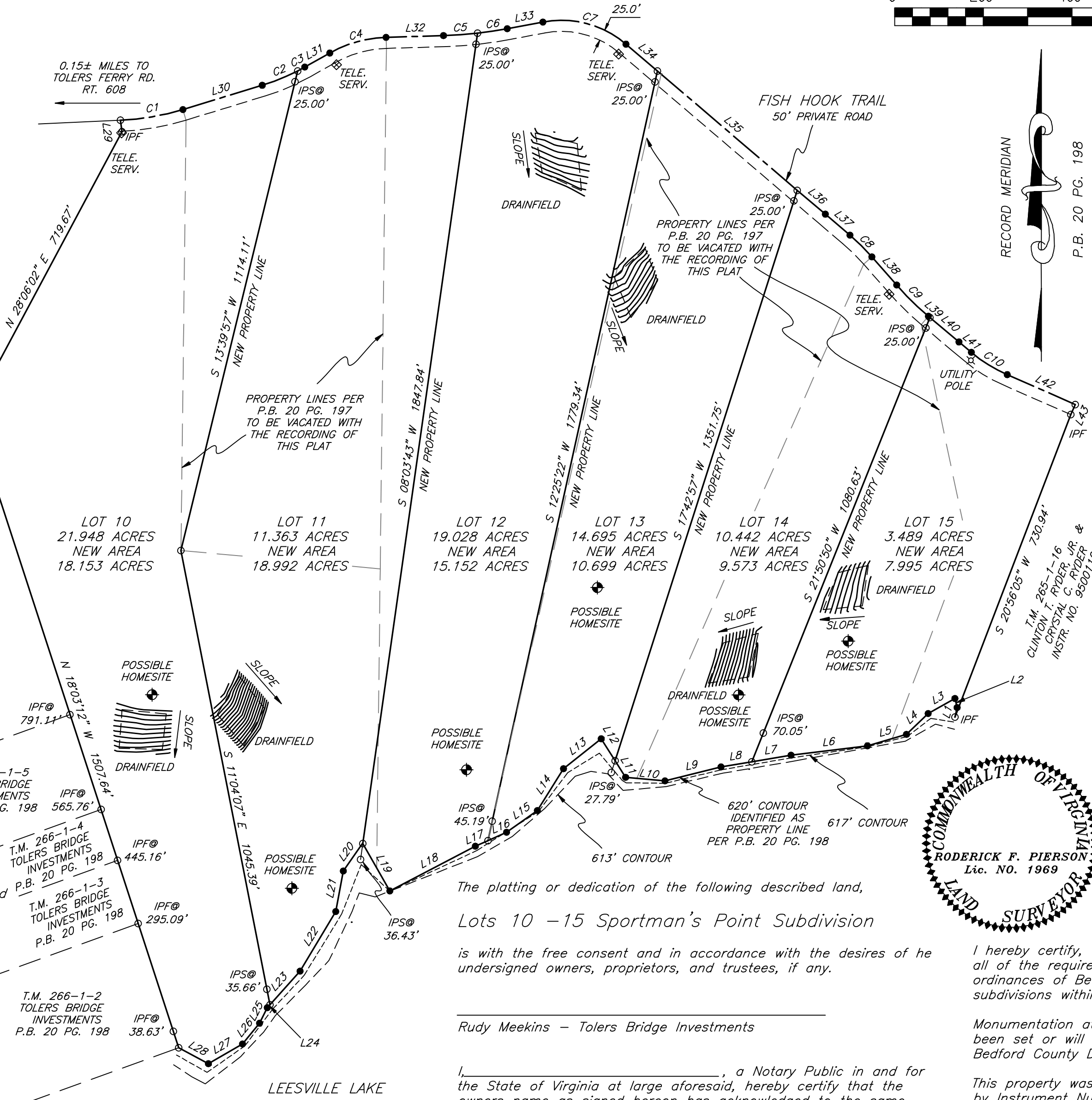
Date \_\_\_\_\_ Health Official

Date \_\_\_\_\_ Agent, Bedford County Board of Supervisors

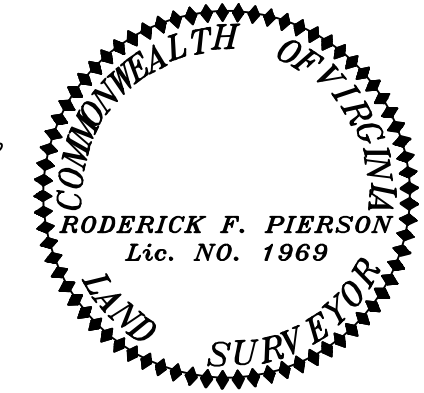
Date \_\_\_\_\_ Agent, Bedford Regional Water Authority

Bedford County does not approve or enforce restrictive covenants.

Date \_\_\_\_\_ Agent, Bedford County Board of Supervisors



- NOTES:
- Prior to the improvement of any lot in the county the Division of Planning shall be contacted concerning, but not limited to, the current zoning building setback requirements, water and sewer systems, Health Department requirements, erosion and sediment control requirements, and private streets.
  - The owner of this subdivision does not agree to construct a public water or sewer system. Before the construction of any dwelling can begin the Health Department shall be consulted to ensure the proper location of the private well and septic systems in relation to the location of the proposed dwellings.
  - Bedford County intends to support the prosecution of those unlawfully disturbing any grave or grave marker. Accordingly, any grave, object or structure marking a place of burial identified during a survey, property research or plat preparation has been denoted on this plat.
  - The maintenance, repair, and operation of any stormwater management improvements and conveyance systems of this subdivision are the private responsibility of the current and future owners of the property shown hereon and shall not become a public responsibility unless formally dedicated to, and expressly accepted by, Bedford County, Virginia or other public agency.
  - This plat has been prepared without the benefit of a title report and therefore does not necessarily indicate all encumbrances upon the property.
  - Exact location of underground utilities and improvements unknown.
  - This property does not address the existence, detection, or delineation of any environmentally sensitive areas or any environmental problems located within the perimeter of the property shown.
  - This property as platted a portion falls within Flood Zone Unshaded "X" and that portion that falls below the 617' contour lies with Flood Zone "AE" of the Federal Rate Map One Hundred Year Flood Plain. FIRM Panel 51067C0590D Dated: September 29, 2010



The platting or dedication of the following described land,  
**Lots 10 -15 Sportman's Point Subdivision**  
is with the free consent and in accordance with the desires of the undersigned owners, proprietors, and trustees, if any.

Rudy Meekins - Tolers Bridge Investments

I, \_\_\_\_\_, a Notary Public in and for the State of Virginia at large aforesaid, hereby certify that the owners name as signed hereon has acknowledged to the same before me this \_\_\_\_\_ day of \_\_\_\_\_, 2018.

My commission expires \_\_\_\_\_

\_\_\_\_\_  
Notary Public

I hereby certify, to the best of my knowledge and belief, that all of the requirements of the Board of Supervisors and the ordinances of Bedford County, Virginia regarding the platting of subdivisions within the County have been met.

Monumentation at each lot corner as called for on this plat has been set or will be set upon approval of this plat by the Bedford County Division of Planning.

This property was conveyed to Tolers Bridge Investments by Instrument Number P.B. 20 Pg. 198 and recorded in the Clerk's Office of the Circuit Court of Bedford County, Virginia.

This is to certify on June 26, 2018  
I made an accurate survey of the premises shown hereon and that there are no easements or encroachments visible on the ground other than as shown hereon.